



CITY OF HAYWARD

AGENDA REPORT

Meeting Date 10/23/03

Agenda Item 2

TO: Planning Commission

FROM: Carl T. Emura, Associate Planner

SUBJECT: Variance No. PL-2003-0462 – Marlene Milani (Applicant)/ Julio and Rubi Magana (Owner) – Request for a Variance to Allow a Garage with a 14-Foot Front Setback Where 20-feet Is Required and a 3'-10" Side Yard Setback Where 6'-8" Is Required.

The Property Is Located at 24025 Second Street In a Single-Family Residential (RS) District

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Find that the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) Guidelines;
2. Deny the application subject to the attached findings.

DISCUSSION:

The property is a sloping 4998-square-foot irregularly shaped lot. To the south of the property is an apartment complex and to the north is a single-family dwelling. The existing house is 1,254 square feet (including a single car garage). The applicant would like to add a 1,088 square-foot two-story addition with a roof deck at the rear of the house. The addition would include a kitchen nook, a family room, a master bedroom and a bathroom.

In order to add an additional bedroom or increase the square footage of the house by more than 50 percent, a two-car garage is required. The City Council enacted this requirement in order to help alleviate excessive parking on Hayward's neighborhood streets. It is assumed that significantly increasing the size of a dwelling and/or adding bedrooms may also increase the number of drivers and cars. It is further assumed that 4 cars could be accommodated on the property if the garage is setback 20 feet; 2 cars could be parked in the garage and 2 in the driveway. While this requirement provides many homeowners the opportunity to improve their homes without impacting parking in the neighborhoods, it is not expected that every property is eligible to take advantage of it.

The applicant has a single-car garage that is only 14 feet from the front property line. He proposes to meet the requirement for a two-car garage by extending the existing garage to toward the side to within 3'-10" feet from the side property line. However, because a front yard setback of at least 20 feet is required and a side yard setback of at least 6'8" is required, approval of a variance is necessary to construct the garage.

Staff does not support this application for safety reasons. The required 20-foot setback between the garage and the front property line is required in order to accommodate additional parking without cars extending into the public right-of-way and hindering pedestrian circulation. In addition, staff has observed that on-street parking is limited in the area, including in front of the subject property, as many of the tenants in the surrounding apartment complexes park on the street. There is also a weekly parking restriction for street cleaning, further limiting on street parking. Any additional cars, over the two cars parked in the garage, may have to be parked on the opposite side of the street, thereby requiring the crossing of Second Street, a busy arterial street, further contributing to an unsafe situation.

With regard to design, the proposed addition is not appealing and does not meet the City's Design Guidelines in that it is not harmonious with the existing house nor does it blend in with the single-family dwellings in the surrounding area. The addition and existing house appears as two separate buildings. The roof style differs in that the existing house has a gable roof and the addition has a partial mansard roof. The rear of the addition appears more like an apartment complex rather than a single-family dwelling with its boxy shape and stairs leading to the roof deck. Furthermore, the roof deck would impinge on the privacy of the adjacent apartment tenants in that from the proposed roof deck and stairway, one could look directly into the living rooms and bedrooms of the adjacent apartments. There could also be an issue of loss of privacy relative to the back yards of the small lots on Acacia Drive.

If the Planning Commission is supportive of the variance, appropriate findings and conditions of approval must be adopted and consideration be given to improving the design of the addition and for the privacy of the residents on adjacent properties.

Environmental Review:

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Section 15305, Class 5 (a), Minor Alterations of Land Use Limitations.

Public Notice:

On, September 1, 2003, a notice describing the variance application was mailed to all property owners and tenants within 300 feet of the subject property and the Mission-foothills Neighborhood Task Force. A response was received expressing concern on the impact the addition would have on their residence.

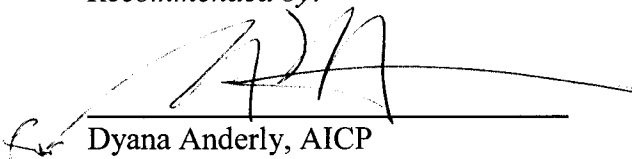
On October 10, 2003, a Notice of Public Hearing for the Planning Commission meeting was mailed to property owners and tenants within 300 feet of the subject property and to all interested parties.

Prepared by:

A handwritten signature in dark ink, appearing to read 'Carl T. Emura', written over a horizontal line.

Carl T. Emura
Associate Planner

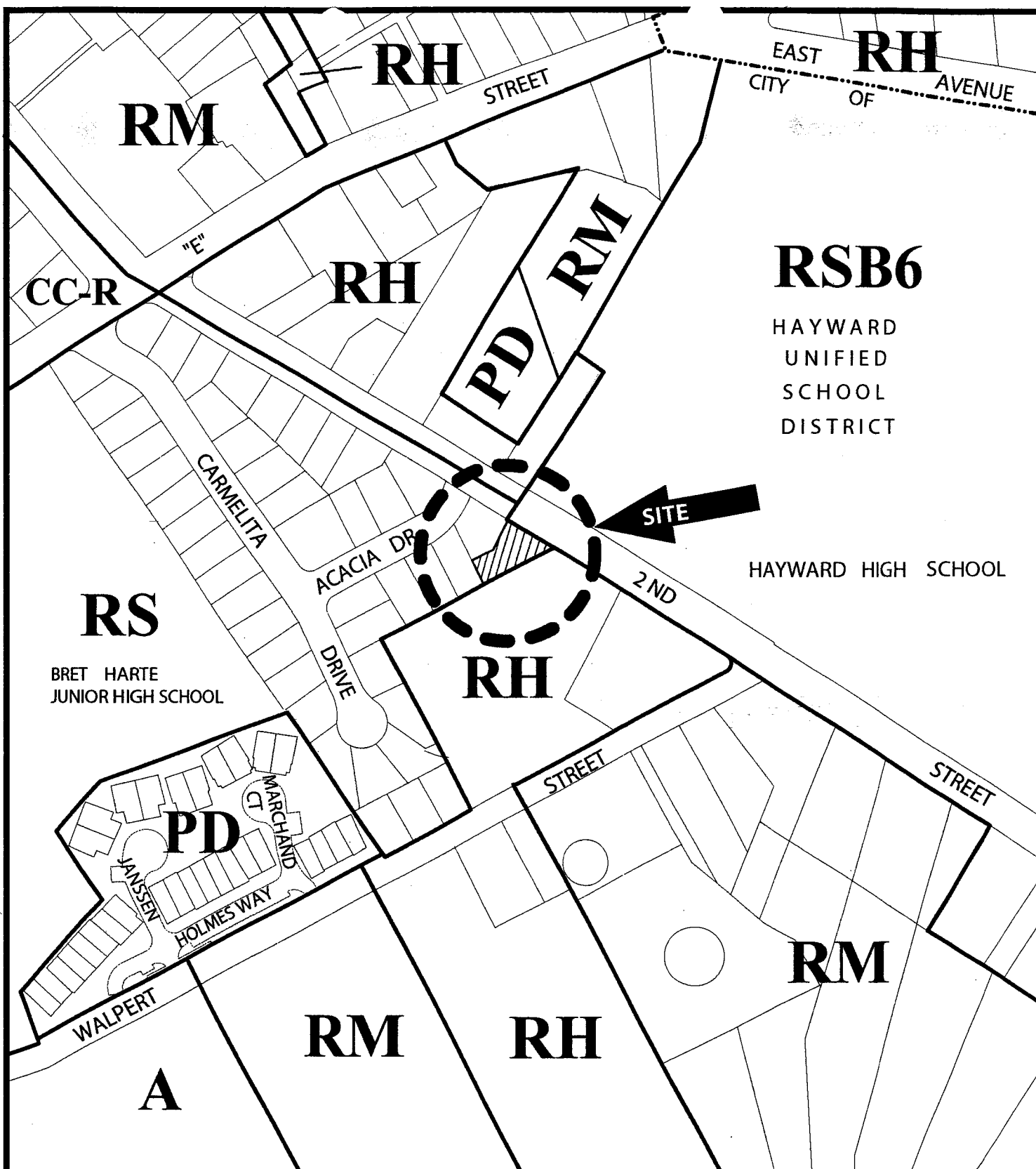
Recommended by:

A handwritten signature in dark ink, appearing to read 'Dyana Anderly', written over a horizontal line.

Dyana Anderly, AICP
Planning Manager

Attachments:

- A. Area Map
- B. Findings for Denial
Plans



Area & Zoning Map

PL-2003-0462 VAR

Address: 24025 2nd Street

Applicant: Marlene Milani

Owner: Julio & Rubi Magana

A-Agricultural-ABSA,AB10A,AB100A,AB160A

CC-R-Central City-Residential

PD-Planned Development

RH-High Density Residential RHB 7

RM-Medium Density Residential RMB 3.5, RMB 4

RS-Single-Family Residential,RSB4,RSB6



**CITY OF HAYWARD
PLANNING DIVISION**

October 23, 2003

VARIANCE NO. PL-2003-0462 – Marlene Milani (Applicant)/ Julio and Rubi Magana (Owner)– To allow a reduction of the front yard setback from 20'-0" to 14'- 0" and side yard setback from 6'-8" to 3'-10" to allow the expansion of the single car garage to a two car garage.

The site is located at 24025 Second Street in the Single Family Residential (RS) District, (APN: 445-0020-026).

FINDINGS FOR DENIAL

- A. Administrative Use Permit PL 2003-0462, will have no significant impact on the environment, cumulative or otherwise, and the project reflects the City's independent judgment and is exempt from CEQA review under Section 15305, Class 5a, Minor Alterations in Land Use Limitations.
- B. There are special circumstances applicable to the property in that the lot is irregular in shape and on a sloping site. However, the driveway would not be of sufficient depth to accommodate additional cars without protruding into the public right-of-way and on-street parking is limited due to the apartments in the general vicinity of the property.
- C. Strict application of the Zoning Ordinance does not deprives such property of privileges enjoyed by other properties with similar circumstances in that no other variances have been approved for the reduction of front yard setbacks on properties in the vicinity.
- D. The variance would constitute a grant of a special privilege inconsistent with the limitations upon other properties with similar circumstances in the vicinity and zoning district in which the property is situated in that front yard setback variances have not be granted for other properties in the vicinity.

WALL LEGEND (A2)

SYMBOL	DESCRIPTION
	EXISTING PERIMETER WALL TO REMAIN
	EXISTING INTERIOR PARTITION TO REMAIN
	EXISTING WALL, DOORS, WINDOWS ETC TO BE DEMOLISHED

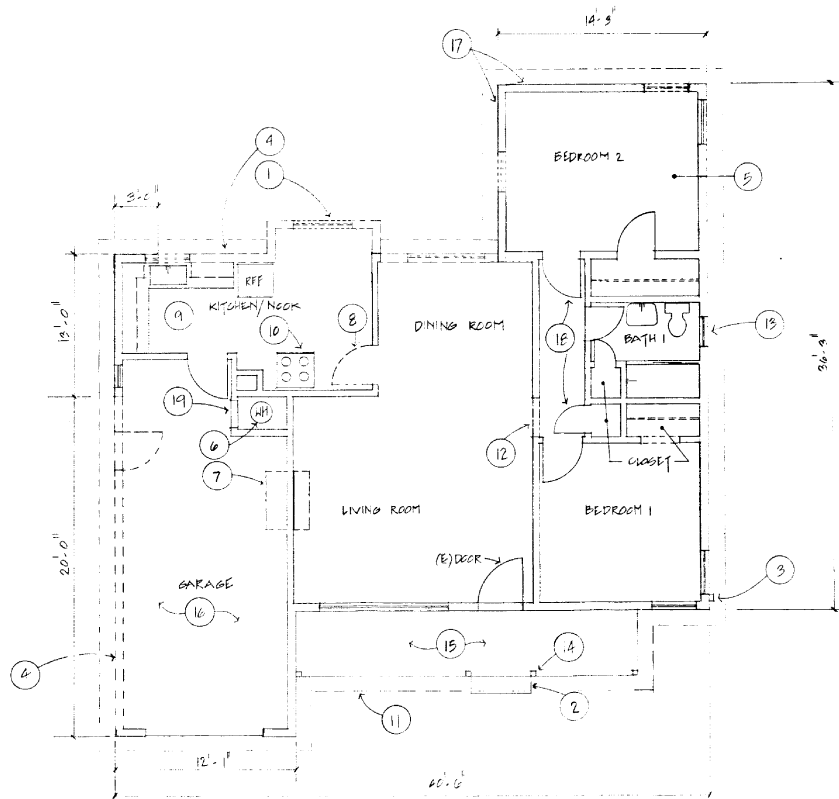
DEMOLITION GENERAL NOTES (A2)

THESE NOTES ARE INTENDED TO DESCRIBE THE GENERAL EXTENT OF DEMOLITION AND TO HIGHLIGHT SPECIFIC SITUATIONS. THESE NOTES DO NOT CONSTITUTE A FULL DESCRIPTION REQUIRED FOR THIS PROJECT, AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE ADDITIONAL DEMOLITION AS REQUIRED TO ACCOMPLISH THE SCOPE OF WORK.

STUB OFF AND ROUTE ALL PLUMBING ITEMS AS NEEDED TO COMPLETE THE WORK.

NOTES

- (E) BAY WINDOW TO BE REMOVED. PREPARE REMAINING (E) CONSTRUCTION FOR (N) WORK.
- (E) CONC STEP/LANDING.
- (E) GAS METER.
- (E) PERIMETER WALL TO BE DEMOLISHED TO THE EXTENT INDICATED. PREPARE REMAINING (E) CONSTRUCTION FOR (N) WORK. PLEASE REFER TO SHEET A3 FOR SCOPE OF (N) WORK.
- (E) ROOF OF BEDROOM #2 TO BE REMOVED. PLEASE REFER TO SHEET A3, A4, A5 AND A6 FOR SCOPE OF (N) WORK.
- (E) WATER HEATER TO BE REPLACED. SEE SHEET A3.
- (E) MASONRY CHIMNEY TO BE DEMOLISHED.
- REMOVE DOOR-STORE FOR RE-USE. PREPARE REMAINING (E) CONSTRUCTION FOR (N) WORK.
- (E) BASE UPPER CABINETS, SINK AND ACCESSORIES TO BE REMOVED.
- (E) RANGE W. ROOF VENT.
- INDICATES OUTLINE OF (E) OVERHANG.
- (E) CASED OPENING.
- (E) WINDOW.
- (E) WOOD POST.
- (E) PORCH.
- (E) CONC SLAB ON-GRADE.
- (E) PERIMETER WALL-REMOVE (E) HORIZONTAL WOOD REVEL SIDING.
- (E) DOOR TO REMAIN.
- (E) ACCESS PANEL TO WATER HEATER.



(E) FLOOR PLAN- DEMOLITION PLAN

ARCHITECTURAL FORMS
1806 WEIR DRIVE
Hayward, CA 94541
(510) 581-4771

MAGANA ADDITION
24025 2ND STREET
HAYWARD, CA 94544

Date: 1-30-03
Scale: 1/4" = 1'-0"
Drawn: M. MURPHY
Job:
Sheet: A2

DOOR SCHEDULE (A3)

MARK	SIZE	MATERIAL	REMARKS
1	2'-8" x 6'-8"	SOLID CORE WOOD	1 1/4" S/W DOOR, 20 MIN LABEL, PROVIDE CLOSER
2	6'-0" x 6'-8"	GLASS SLIDER W/ VINYL FRAM	PROVIDE WSP AND LOCKSET
3	2'-6" x 6'-8"	SOLID CORE WOOD	1 1/4" S/W DOOR W/ VENT LOUVER
4	2'-8" x 6'-8"	SOLID CORE WOOD	1 1/4" S/W DOOR
5	1'-0" x 6'-8"	ROLL UP WOOD DOOR	PRIVACY WSP

WINDOW SCHEDULE

NOTE: ALL WINDOWS SHALL BE WHITE VINYL FRAME TO MATCH EXISTING (U.O.N.) AND WSP OPENING DIRECTION SHOWN ON SHEET AS AND A6

MARK	SIZE	FRAME	REMARKS
1	3'-0" x 4'-6"	WHITE VINYL	1 1/8" CLEAR GLASS, DRG. GLAZED
2	6'-0" x 4'-6"	DO	DO
3	1'-0" x 2'-3" x 3'-2"	ALUM	24 GAUGE SHEET METAL SKYLIGHT WITH VENTILATION FLAP AND CLEAR GLASS WSP, MANIF. VELUX, PSE #16, ICB0 INER 216
4	1'-0" x 2'-3" x 3'-2"	ALUM	24 GAUGE SHEET METAL SKYLIGHT WITH VENTILATION FLAP AND CLEAR GLASS WSP, MANIF. VELUX, PSE #16, ICB0 INER 216

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS/CYLIZING
KITCHEN/NOOK	CERAMIC TILE	4" CERAMIC TILE COVE BASE	PAINTED GYP BOY
FAMILY ROOM	CERAMIC TILE	4" CERAMIC TILE COVE BASE	PAINTED GYP BOY
STAIR	WOOD LAMINATE	WOOD LAMINATE	DO

GENERAL NOTES (A3)

THESE NOTES ARE INTENDED TO DESCRIBE THE GENERAL EXTENT OF THE NEW WORK, AND TO HIGHLIGHT SPECIFIC SITUATIONS. THESE NOTES DO NOT CONSTITUTE A FULL DESCRIPTION REQUIRED FOR THIS PROJECT, AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE ADDITIONAL CONSTRUCTION AS REQUIRED TO ACCOMPLISH THE SCOPE OF WORK.

CONTRACTOR TO COORDINATE ALL FINISHES WITH ARCHITECTURAL FORMS AND OWNER. PROVIDE APPROPRIATE ALLOWANCE FOR NECESSARY NEW FINISH MATERIALS.

NOTES

- (E) CONC STEPPING LANDING
- (E) GAS METER
- (E) PERIMETER WALL
- (E) ELECTRICAL PANEL
- (E) MAXIMUM CHIMNEY
- (E) RANGE W/ EXISTING ROOF VENT
- (E) CASED OPENING
- (E) WINDOW
- (E) WOOD POST
- (E) DOOR
- (E) CONC SLAB-ON-GRADE
- SKYLIGHT-SEE DOOR SCHEDULE
- INSTALL BASE UPPER CABINETS, SINK, AND ACCESSORIES
- INDICATES OUTLINE OF (E) OVERHANG
- (N) INTERIOR STAIR, HARDWOOD LAMINATE W OAK RAILING ON BOTH SIDES @ 34" TO 38" MAX FROM NOSING
- STAIR DATA:
STAIR WIDTH: 3'-4"
NUMBER OF RISERS: 15
NUMBER OF TREADS: 14
RISER HEIGHT: 7" MAX
TREAD WIDTH: 11" MIN
- (N) EXTERIOR STAIR AND LANDING, COMPOSITE WOOD W/ RAILING ON BOTH SIDES @ 34" TO 38" MAX FROM NOSING
- STAIR DATA:
STAIR WIDTH: 3'-4"
NUMBER OF RISERS: 31
NUMBER OF TREADS: 30
RISER HEIGHT: 7" MAX
TREAD WIDTH: 11" MIN
- 4" x 4" WOOD POST-PLEASE SEE DETAIL A3-2
- (N) 50 GALLON WATER HEATER, PROVIDE SERVICING ANCHORAGE, PRESSURE AND TEMPERATURE RELIEF VALVE, TERMINATION TO OUTSIDE OF BUILDING
- (E) TILE FLOOR TO BE REPAIR AS REQUIRED
- (N) DOOR-SEE DOOR SCHEDULE
- PATCH OPENING AS REQUIRED - 1" x 1"
- WALL VENT- PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST, PROVIDE 4" INCH DIAMETER EXHAUST DUCT WITH BACK DRAFT DAMPER
- 3'-4" HIGH GUARDRAIL, COMPOSITE WOOD W/ 4" x 4" PRESSURE TREATED POST @ 5'-0" O.C. MAX AND 2" x 2" PICKETS @ 4" O.C. MAX.
- NEW CONC FIRST TREAD AND BASE, SLOPE TO DRAIN, COMPOSITE WOOD STAIRLANDING AND HANDRAIL
- MAX DROP @ DOOR LANDING: 1" MAX OVERHANG
- ALL WALLS AND CEILING IN GARAGE MUST HAVE 5/8" GYPSUM BOARD
- PROVIDE TWO SEPARATE 20 AMP CIRCUITS FOR SMALL KITCHEN APPLIANCES
- PROVIDE ONE SEPARATE 20 AMP CIRCUIT FOR LAUNDRY APPLIANCES
- PATCH AND REPAIR SLAB-ON-GRADE AS REQUIRED TO COMPLETE JOB

WALL LEGEND (A3)

ALL WALL FRAMING IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED D.F.I.

SYMBOL	DESCRIPTION
	EXISTING PERIMETER WALL
	EXISTING INTERIOR PARTITION WALL
	NEW INTERIOR LOW PARTITION WALL @ 34" HIGH (FIELD VENT) 2x4 STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD ON EACH SIDE
	NEW PERIMETER WALL 2x4 STUDS @ 16" O.C. (JUNK) W/ 1/2" CDX PLYWOOD, PROVIDE 3-LAYER 7/8" THICK CEMENT PLASTER OVER STEEL WIRE OVER 2 LAYERS OF GRADE "D" PAPER, R-13 INSUL B.T.W. STUDS, PROVIDE 5/8" GYPSUM BOARD INSIDE
	NEW PERIMETER WALL 2x4 STUDS @ 16" O.C. (JUNK) W/ 1/2" CDX PLYWOOD PROVIDE HORIZONTAL WOOD SHEATHING ON MT. LATH OVER 2 LAYERS OF GRADE "D" PAPER, R-13 INSUL B.T.W. STUDS, PROVIDE 5/8" GYPSUM BOARD INSIDE
	NEW INTERIOR PARTITION: 2x4 STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE, PROVIDE TYPE "W" GYP BD AT WEI AREAS

ELECTRICAL - GENERAL NOTES

- REFER TO ARCHITECTURAL DRAWING FOR EXACT CEILING TYPE AND LIGHTING FIXTURE LAYOUT. VERIFY WITH ARCHITECTURAL DRAWING FOR EXACT MOUNTING HEIGHT OF ALL FIXTURES AS REQUIRED.
- WIRING SHALL BE CONCEALED WHEREVER POSSIBLE, OTHERWISE EXPOSED WIRE OR WIREMOLD SHALL BE RUN AS INDICATED.
- WIRING AND LIGHTING FIXTURES SHALL NOT BE MOUNTED TO BUS OR VENT DUCTS OR CABLE BACKS. UNLESS IT IS SHOWN TO BE SUSPENDED BELOW OR TIGHT TO BOTTOM OF DUCT WITH 3/4" THREADED RODS RUN FROM STRUCTURE ABOVE.
- ALL WALL OUTLETS SHALL BE MOUNTED - 12" ABOVE FINISH FLOOR (U.O.N)
- CONTRACTOR SHALL LABEL EACH NEW ELECTRICAL OUTLET WITH DYMOTAPES. THE TAPES SHOULD SHOW PANEL NAME AND CIRCUIT BREAKER NUMBER FEEDING THE CONVENIENCE OUTLET OR LIGHT SWITCH CONTAINED IN THE BOXES
- ALL DIMENSIONS SHOWN SHALL BE FROM FINISH FLOOR IN FINISH FLOOR AREA
- ALL JUNCTION BOX COVER PLATES FOR BRANCH CIRCUIT SYSTEM SHALL BE CLEARLY MARKED WITH PERMANENT INK FELT PEN IDENTIFYING THE BRANCH CIRCUIT (BOTH PANEL NAME AND CIRCUIT NUMBER) CONTAINED IN THE BOXES
- ALL RECEPTACLES SHALL HAVE ALTERNATE SWITCHED SWITCH FOR TITLE 24. FIXTURES IN OPEN AREA SHALL BE SWITCHED TO ONE THREE WAY SWITCH, COORDINATE SWITCH LOCATION WITH OWNER.
- ALL WORK SHALL COMPLY WITH TITLE 24 REQUIREMENTS
- ALL (E) ELECTRICAL AND TELEPHONE OUTLETS TO REMAIN (U.O.N.)
- PROVIDE SINGLE PHASE RECEPTACLE OUTLET W/ GROUND- FAULT CIRCUITS @ OUTSIDE OF BLDG.
- ALL SWITCH LOCATIONS, THERMOSTATS AND ANY OTHER WALL MOUNTED CONTROL DEVICES ARE TO BE MOUNTED AT BUILDING STANDARD HEIGHT (U.O.N.) AND FIELD APPROVED BY OWNER BEFORE INSTALLATION.
- ALL ELECTRICAL DEVICES (THERMOSTATS, SWITCHES, PLUGS) SHALL BE THE SAME COLOR PLATE U.O.N., COLOR, WHITE
- ALL DIMENSIONS ARE TO THE CENTER OF COVER PLATES. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.O.N. GROUND COVER PLATES SHALL BE ONE PRICE TYPE
- CONTRACTOR SHALL VERIFY AND PROVIDE CORRECT OUTLETS FOR SPECIAL ELECTRICAL AND COMMUNICATIONS EQUIPMENT AS NOTED ON PLANS
- PROVIDE ELECTRIC POWER TO ALL HEATING AND TELEPHONE EQUIPMENT AS NECESSARY
- WHERE SWITCHES ARE SHOWN ADJACENT TO EACH OTHER, THEY SHALL BE GANGED AND COVERED WITH A SINGLE PLATE
- INCREASE ELECTRICAL SERVICE AS REQUIRED TO COMPLETE THE JOB
- PROVIDE BATTERY OPERATED SMOKE DETECTOR @ EA. EXISTING BEDROOM, CORRIDOR/AREA NEXT TO EXISTING BEDROOM

REFLECTED CEILING - GENERAL NOTES

- ALL LIGHT FIXTURES LOCATIONS TO BE AS SHOWN ON DRAWINGS. LIGHT FIXTURES AND OTHER CEILING ELEMENTS ARE TO BE LOCATED IN CENTER OF INDIVIDUAL CEILING (U.O.N.) OR DIMENSIONED
- ALL NEW GRILL, DIFFUSER LOCATIONS TO BE COORDINATED AND APPROVED IN FIELD BY ARCHITECTURAL FORMS BEFORE INSTALLATION
- ALL FLUORESCENT AND INCANDESCENT FIXTURE LENSES ARE TO BE INSTALLED AFTER CARPET HAS BEEN INSTALLED AND VACUUMED
- CONTRACTOR TO PROVIDE ALL NECESSARY HOOK, UPS, MOUNTING HARDWARE AND CABLE WORK FOR ALL LIGHTING EQUIPMENT, WHETHER INDICATED ON DRAWING OR NOT
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCE FOR FIXTURES, DUCTS, PIPING, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHT

LIGHTING SYMBOL LEGEND - SCHEDULE

SYMBOL	DESCRIPTION
	INCAND DOWNLIGHT - RECESSED 6" FIXTURE(S) "LIGHTOLIER" #CMRW-CLW (75W)
	INCAND DOWNLIGHT - RECESSED 6" FIXTURE(S) "LIGHTOLIER" #CMRW-CLW (60W)
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED CHANDELIER
	WALL MOUNTED INTERIOR LIGHT FIXTURE
	WALL MOUNTED EXTERIOR LIGHT FIXTURE @ 7'-0" A.F.G.

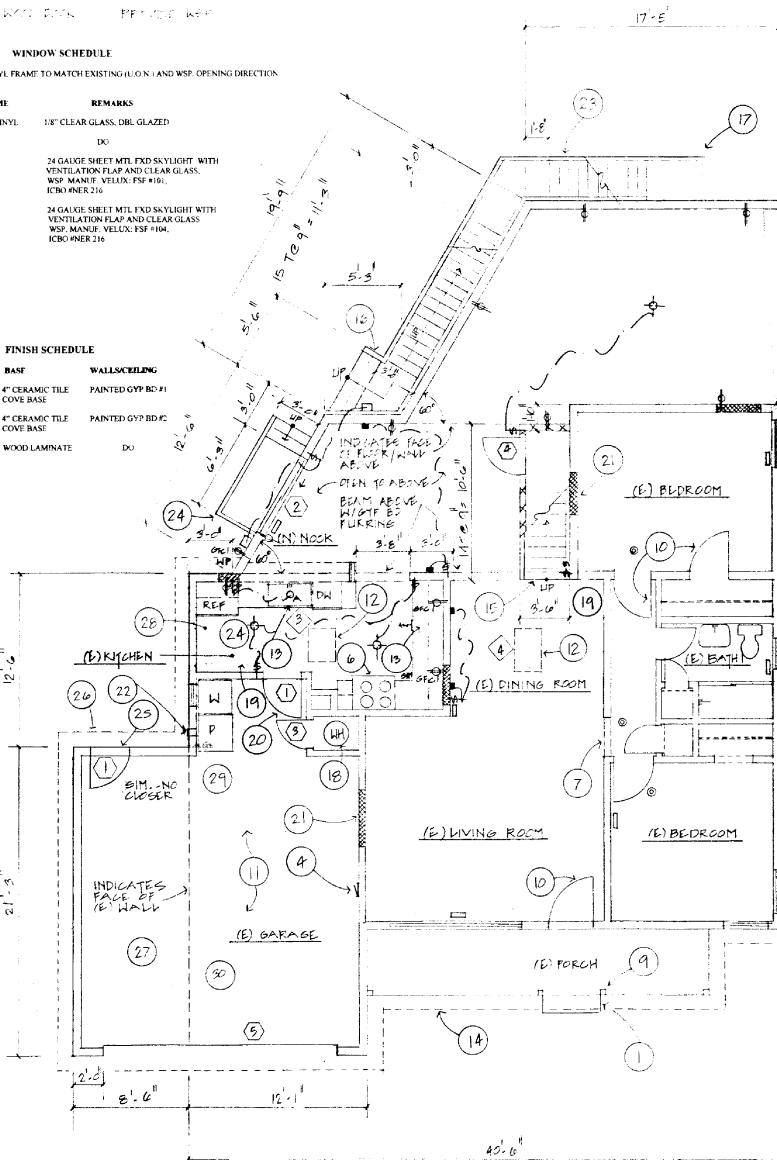
MECHANICAL SYMBOL LEGEND

	12" x 4" FLOOR SUPPLY REGISTER (TYP)
	12" x 4" WALL SUPPLY REGISTER (TYP)

MECHANICAL - GENERAL NOTES

- HVAC SYSTEM THROUGHOUT ENTIRE SPACE
- ALL NEW HVAC GRILL DIFFUSER LOCATIONS TO BE COORDINATED AND APPROVED IN FIELD BY ARCHITECTURAL FORMS BEFORE INSTALLATION
- ALL WORK SHALL CONFORM TO THE 2001 MECHANICAL CODE AS ADOPTED LOCAL ORDINANCE, TITLE 24 ENERGY EFFICIENCY STANDARDS, NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) UNDERWRITERS' LABORATORIES (UL) AND ALL APPLICABLE CODES AND STANDARDS. WHERE DIFFERENCES OCCUR AMONG APPLICABLE CODES AND STANDARDS, THE MOST STRINGENT CONVENTION SHALL APPLY.
- ALL WORK SHALL BE PERFORMED IN THE SCHEDULED AND SEQUENCE REQUIRED BY THE OWNER AND COORDINATED WITH TRADES PROVIDING RELATED SERVICES. SINCE THIS IS AN EXISTING BUILDING, THE SUB CONTRACTOR SHALL INSPECT THE PREMISES AS A CONDITION FOR SUBMITTAL OF BID AND INCLUDE ALL WORK NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM.
- THE SUBCONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE BUILDING SITE AND TO HAVE COMPARED IT WITH THE DRAWINGS AND SPECIFICATIONS, TO HAVE CAREFULLY EXAMINED ALL THE CONTRACT DOCUMENTS AND TO HAVE SATISFIED HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO THIS CONTRACT, AND NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART OR HIS NEGLIGENCE OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE WORK.

1ST FLOOR PLAN-EXISTING AND ADDITION



MARK	SIZE	MATERIAL	REMARKS
1	2'-6" x 6'-6"	HOLLOW CORE WOOD	PROVIDE LOCKS @ BATHROOMS
2	2'-6" x 6'-6"	HOLLOW CORE WOOD	
3	3'-0" x 4'-7"	GLASS SLIDER W/ ALUM. FRAME	PROVIDE 1/8" TEMPERED GLASS
4	8'-0" x 7'-0"	GLASS SLIDER W/ VINYL WHITE FRAME	PROVIDE 1/8" TEMPERED GLASS AND LOCKSET

MARK	SIZE	FRAME	REMARKS
1	2'-6" x 1'-6"	WHITE VINYL	1/8" CLEAR GLASS, DBL. GLAZED
2	2'-6" x 3'-0"	DO	1/8" OBSCURE GLASS, DBL. GLAZED
3	2'-6" x 3'-0"	DO	1/8" CLEAR GLASS, DBL. GLAZED FIXED WINDOW
4	2'-6" x 3'-0"	DO	1/8" CLEAR GLASS, DBL. GLAZED
5	3'-0" x 4'-6"	DO	1/8" CLEAR GLASS, DBL. GLAZED
6	6'-0" x 3'-0"	DO	1/8" CLEAR GLASS, DBL. GLAZED FIXED

ROOM NAME	FLOOR	BASE	WALLS/CLING
DEM/COMPUTER ROOM STORAGE HALL	CERAMIC TILE	4" CERAMIC TILE COVE BASE	PNT GYP BD #2
BATH 2	MARBLE	4" MARBLE	PNT GYP BD #1 & GRANITE @ SHOWER WALL
STAIR	WOOD LAMINATE	WOOD LAMINATE	PNT GYP BD #2

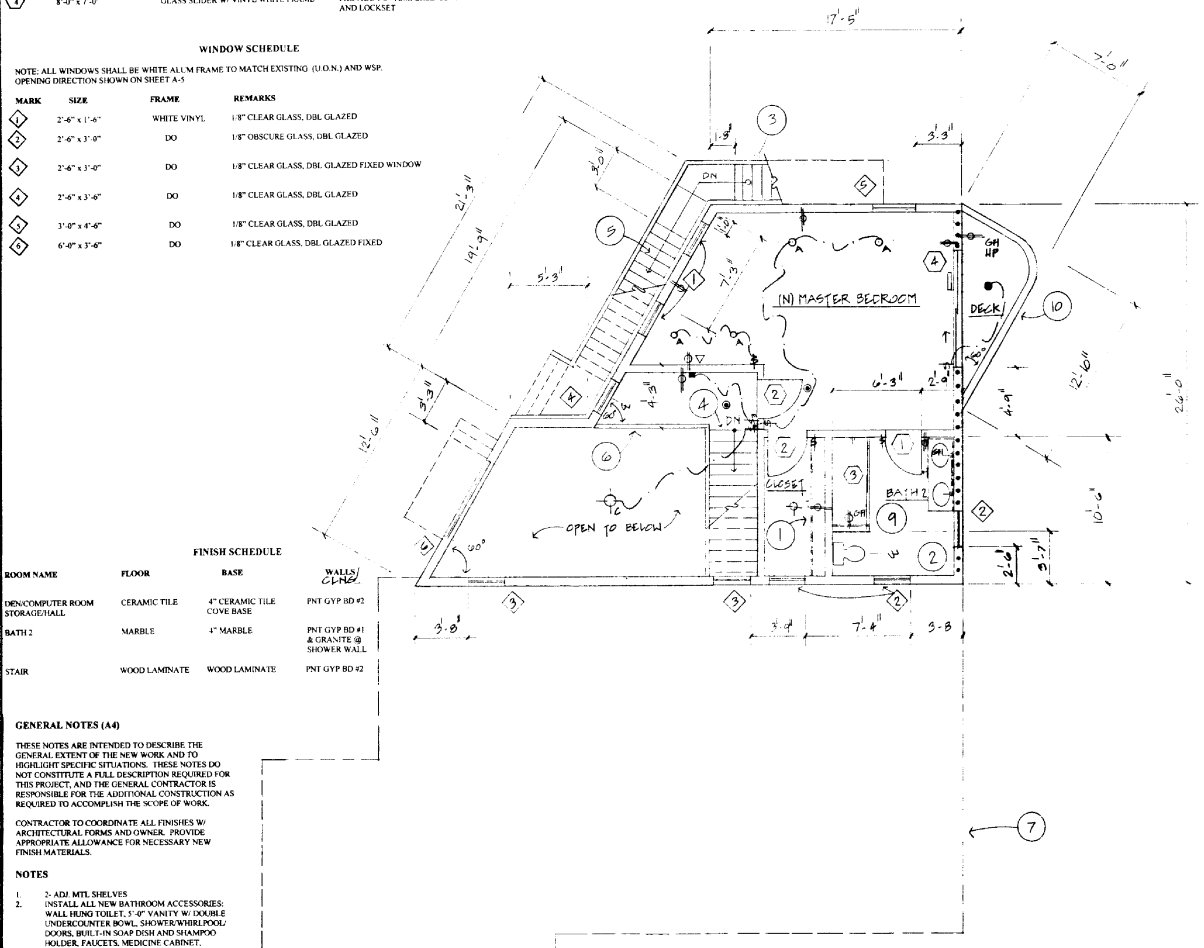
GENERAL NOTES (A4)

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CONTRACTOR TO COORDINATE ALL FINISHES W/ ARCHITECTURAL FORMS AND OWNER. PROVIDE APPROPRIATE ALLOWANCE FOR NECESSARY NEW FINISH MATERIALS.

NOTES

- 2-ADJ. MTL. SHELVES
- INSTALL ALL NEW BATHROOM ACCESSORIES: WALL HUNG TOILET, 3'-0" VANTY W/ DOUBLE UNDERCOUNTER BOWL, SHOWER/WHIRLPOOL, DOORS, BUILT-IN SOAP DISH AND SHAMPOO HOLDER, FACETS, MEDICINE CABINET, MIRROR, TOILET PAPER DISPENSER, TOWEL BAR, TOWEL RING AND WALL MOUNTED LIGHT FIXTURE
- 3'-4" HIGH GUARDRAIL, COMPOSITE WOOD W/ 2X4 PRESSURE TREATED POST @ 3'-0" O.C. MAX. AND 2X2 PICKETS @ 4" O.C. MAX.
(N) INTERIOR STAIR, WOOD LAMINATE W/ 3'-6" HIGH OAK RAILING ON BOTH SIDES
STAIR DATA:
STAIR WIDTH: 3'-0"
NUMBER OF RISERS: 15
NUMBER OF TREADS: 14
RISER HEIGHT: 7" MAX.
TREAD WIDTH: 9" MIN.
(N) EXTERIOR STAIR AND LANDING, COMPOSITE WOOD W/ 3'-6" HIGH RAILING ON BOTH SIDES
STAIR DATA:
STAIR WIDTH: 3'-0"
NUMBER OF RISERS: 31
NUMBER OF TREADS: 30
RISER HEIGHT: 7" MAX.
TREAD WIDTH: 9" MIN.
3'-4" HIGH OAK WOOD GUARDRAIL W/ 2X4 WD POST @ 3'-0" O.C. MAX. AND 2X2 PICKETS @ 4" O.C. MAX.
INDICATES OUTLINE OF (E) BUILDING BELOW
- INDICATES OUTLINE OF (E) BUILDING BELOW



MECHANICAL GENERAL NOTES

1. HVAC SYSTEM THROUGHOUT ENTIRE SPACE
2. ALL NEW HVAC GRILL/DIFFUSER LOCATIONS TO BE COORDINATED AND APPROVED IN FIELD BY ARCHITECTURAL FORMS BEFORE INSTALLATION
3. ALL WORK SHALL CONFORM TO THE 2001 MECHANICAL CODE AS ADOPTED LOCAL ORDINANCE, TITLE 24 ENERGY EFFICIENCY STANDARDS, NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), UNDERWRITERS' LABORATORIES (UL) AND ALL APPLICABLE CODES AND STANDARDS. WHERE DIFFERENCES OCCUR AMONG APPLICABLE CODES AND STANDARDS, THE MOST STRINGENT CONDITION SHALL APPLY.
4. ALL WORK SHALL BE PERFORMED IN THE SCHEDULED AND SEQUENCE REQUIRED BY THE OWNER AND COORDINATED WITH TRADES PROVIDING RELATED SERVICES. SINCE THIS IS AN EXISTING BUILDING, THE SUB CONTRACTOR SHALL INSPECT THE PREMISES AS A CONDITION FOR SUBMITTAL OF BID AND INCLUDE ALL WORK NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM.
5. THE SUB CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE BUILDING SITE AND TO HAVE COMPARED IT WITH THE DRAWINGS AND SPECIFICATIONS. TO HAVE CAREFULLY EXAMINED ALL THE CONTRACT DOCUMENTS AND TO HAVE SATISFIED HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO THIS CONTRACT, AND NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART OR HIS NEGLIGENCE OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE WORK.

MECHANICAL SYMBOL LEGEND

12" X 4" FLOOR SUPPLY REGISTER (TYP)

SYMBOL	DESCRIPTION
---	NEW PERIMETER WALL-24 STUDS @ 16" O.C. (U.O.N.) W/ 1/2" CDX PLYWOOD, PROVIDE 1-LAYER, 7/8" THICK CEMENT PLASTER OVER STUCCO WIRE, OVER 2- LAYERS OF GRADE-10" PAPER, R-13 INSUL. BTW STUDS. PROVIDE 3/8" GYP S/M BOARD INSIDE.
---	NEW PERIMETER WALL-24 STUDS @ 16" O.C. (U.O.N.) W/ 1/2" CDX PLYWOOD, PROVIDE HORIZONTAL WOOD BEVELING ON W/ LATH OVER 2- LAYERS OF GRADE-10" PAPER, R-13 INSUL. BTW STUDS. PROVIDE 3/8" GYP S/M BOARD INSIDE.
---	NEW INTERIOR PARTITION-24 STUDS @ 16" O.C. W/ 5/8" GYP S/M BOARD EACH SIDE. PROVIDE TYPE "WR" GYP BD AT WET AREAS.
---	NEW INTERIOR LOW PARTITION WALL @ 30" T. HIGH (FIELD VERIFY)-24 STUDS @ 16" O.C. (U.O.N.) W/ 5/8" GYP S/M BOARD ON ONE SIDE. PROVIDE TYPE "WR" GYP BD AND TEMPERED GLASS PANEL TO ALIGN W/ SLIDER

ELECTRICAL - GENERAL NOTES

1. REFER TO ARCHITECTURAL DRAWING FOR EXACT CEILING TYPE AND LIGHTING FIXTURE LAYOUT. VERIFY WITH ARCHITECTURAL DRAWING FOR EXACT MOUNTING HEIGHT OF ALL FIXTURES AS REQUIRED.
2. WIRING SHALL RUN CONCEALED WHEREVER POSSIBLE, OTHERWISE EXPOSED WIRE OR WIREMOLD SHALL BE RUN AS INDICATED.
3. WIRING AND LIGHTING FIXTURES SHALL NOT BE MOUNTED TO BUS OR VENT DUCTS OR CABLE RACKS. UNLESS AT 1-1000 SHALL BE SUSPENDED BELOW OR TIGHT TO BOTTOM OF DUCT WITH 3/8" THREADED RODS HUNG FROM STRUCTURE ABOVE.
4. ALL WALL OUTLETS SHALL BE MOUNTED -12" ABOVE FINISH FLOOR (U.O.N.)
5. CONTRACTOR SHALL LABEL EACH NEW ELECTRICAL OUTLET WITH DYMO TAPE. THE TAPE SHOULD SHOW PANEL NAME AND CONDUIT BREAKER NUMBER FLOODING THE CONVENIENT OUTLET OR LIGHT SWITCH.
6. ALL DIMENSIONS SHOWN SHALL BE FROM FINISH FLOOR IN FINISH FLOOR AREA
7. ALL JUNCTION BOX COVER PLATES FOR BRANCH CIRCUIT SYSTEM SHALL BE CLEARLY MARKED WITH PERMANENT INK. FILL IN IDENTIFYING THE BRANCH CIRCUIT (BOTH PANEL NAME AND CIRCUIT NUMBER) CONTAINED IN THE BOXES.
8. ALL BEDROOMS, ETC. SHALL HAVE ALTERNATE SWITCHED FIXTURE PER TITLE 24. FIXTURES IN OPEN AREA SHALL BE SWITCHED TO ONE THREE WAY SWITCH COORDINATE SWITCH LOCATION WITH OWNER.
9. ALL WORK SHALL COMPLY WITH TITLE 24 REQUIREMENTS
10. ALL (E) ELECTRICAL AND TELEPHONE OUTLETS TO REMAIN (U.O.N.)
11. PROVIDE SINGLE PHASE RECEPTACLE OUTLET W/ GROUND- FAULT CIRCUITS @ OUTSIDE OF BLDG.
12. ALL SWITCH LOCATIONS, THERMOSTATS AND ANY OTHER WALL MOUNTED CONTROL DEVICES ARE TO BE MOUNTED AT BUILDING STANDARD HEIGHT (U.O.N.) AND FIELD APPROVED BY OWNER BEFORE INSTALLATION.
13. ALL ELECTRICAL DEVICES (SWITCHES/ PLUGS) SHALL BE THE SAME COLOR PLATE U.O.N., COLOR: WHITE
14. ALL DIMENSIONS ARE TO THE CENTER OF COVER PLATES. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.O.N. GANG COVER PLATES SHALL BE ONE PIECE TYPE.
15. CONTRACTOR SHALL VERIFY AND PROVIDE CORRECT OUTLETS FOR SPECIAL ELECTRICAL AND COMMUNICATIONS EQUIPMENT AS NOTED ON PLANS.
16. PROVIDE ELECTRIC POWER TO ALL HEATING AND TELEPHONE EQUIPMENT AS NECESSARY.
17. WHERE SWITCHES ARE SHOWN ADJACENT TO EACH OTHER, THEY SHALL BE GANGED AND COVERED WITH A SINGLE PLATE.
18. INCREASE ELECTRICAL SERVICE AS REQUIRED TO COMPLETE THE JOB
19. PROVIDE BATTERY- OPERATED SMOKE DETECTOR @ EA. EXISTING BEDROOM, CORRIDOR/AREA NEXT TO EXISTING BEDROOM.

REFLECTED CEILING - GENERAL NOTES

1. ALL LIGHT FIXTURES LOCATIONS TO BE AS SHOWN ON DRAWINGS. LIGHT FIXTURES AND OTHER CEILING ELEMENTS ARE TO BE LOCATED IN CENTER OF INDIVIDUAL CEILING (U.O.N.) OR DIMENSIONED
2. ALL NEW GRILL/DIFFUSER LOCATIONS TO BE COORDINATED AND APPROVED IN FIELD BY ARCHITECTURAL FORMS BEFORE INSTALLATION.
3. ALL FLOURESCENT AND INCANDESCENT FIXTURE LENSES ARE TO BE INSTALLED AFTER CARPET HAS BEEN INSTALLED AND VACUUMED.
4. CONTRACTOR TO PROVIDE ALL NECESSARY HOOK UPS, MOUNTING HARDWARE AND CABLING FOR ALL LIGHTING EQUIPMENT. WHERE INDICATED ON DRAWING OR NOT.
5. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCE FOR FIXTURES, DUCTS, PIPING, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHT.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
⚡	WALL SWITCH - 4" A.F.F.
⚡	THREE WAY WALL SWITCH - 4" A.F.F.
⚡	DIMMER SWITCH - 4" A.F.F.
⚡	120V, 15 A, 3W GROUNDABLE DUPLEX RECEPTACLE
⚡	120V, 15 A, 3W GROUND FAULT CIRCUIT INTERRUPT @ 4" A.F.F. (U.O.N.)
⚡	220V
⚡	WALL MOUNTED TELEPHONE RECEPTACLE OUTLET
⚡	WALL MOUNTED TELEPHONE RECEPTACLE OUTLET WITH DESIGNATED COMPUTER OUTLET RECEPTACLE
⚡	WALL MOUNTING HEIGHT 4" ABOVE FLOOR
⚡	HARD WIRE 120V SMOKE DETECTOR W/ BATTERY BACK UP
⚡	ELECTRICAL PANEL
⚡	WALL MOUNTED THERMOSTAT @ 54" A.F.F.

LIGHTING SYMBOL LEGEND/ SCHEDULE

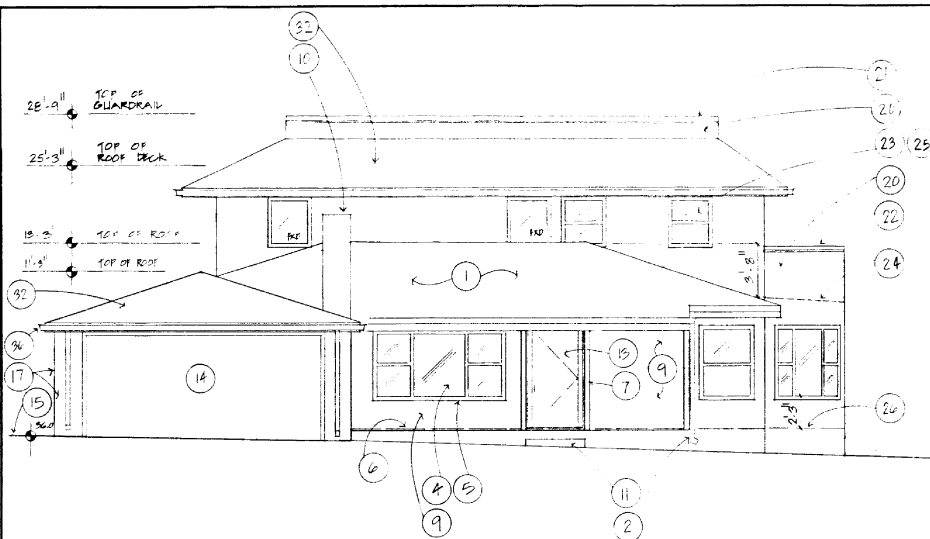
SYMBOL	DESCRIPTION
⚡	INCAN DOWNLIGHT- RECESSED 6" FIXTURE(S) "LIGHTOLIER" 4"AMP-CLW (75W) OR EQUAL
⚡	INCAN DOWNLIGHT- RECESSED 6" FIXTURE(S) "LIGHTOLIER" 4"AMP-CLW (60W) OR EQUAL
⚡	CEILING MOUNTED LIGHT FIXTURE
⚡	CEILING MOUNTED CHANDELIER
⚡	WALL MOUNTED INTERIOR LIGHT FIXTURE
⚡	WALL MOUNTED EXTERIOR LIGHT FIXTURE @ 7'-0" A.F.F.

REVISIONS	BY

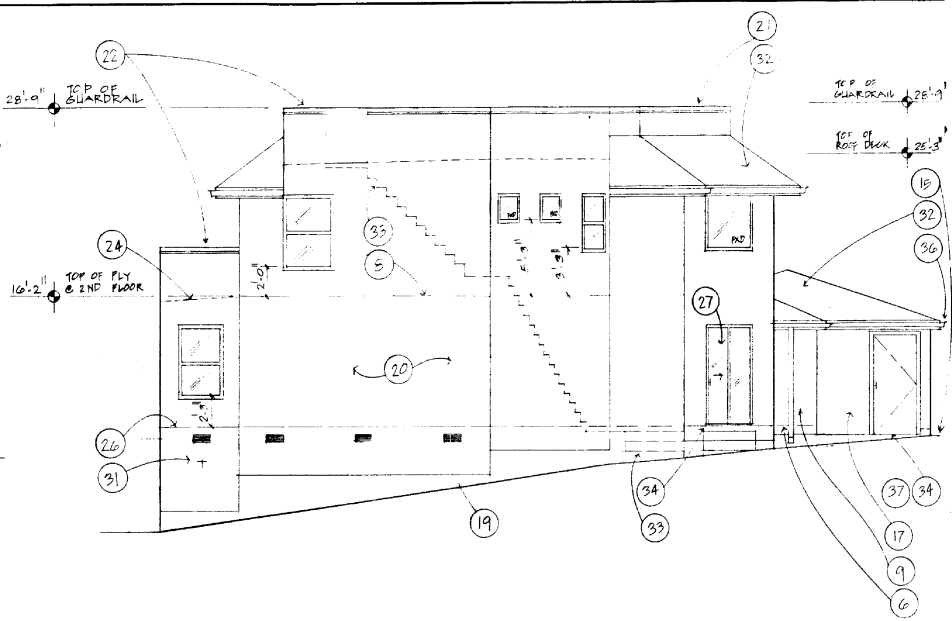
ARCHITECTURAL FORMS
1806 WEIR DRIVE
Hayward, CA 94541
(510) 581-4771

MAGANA ADDITION
240252 ND STREET
HAYWARD, CA 94544

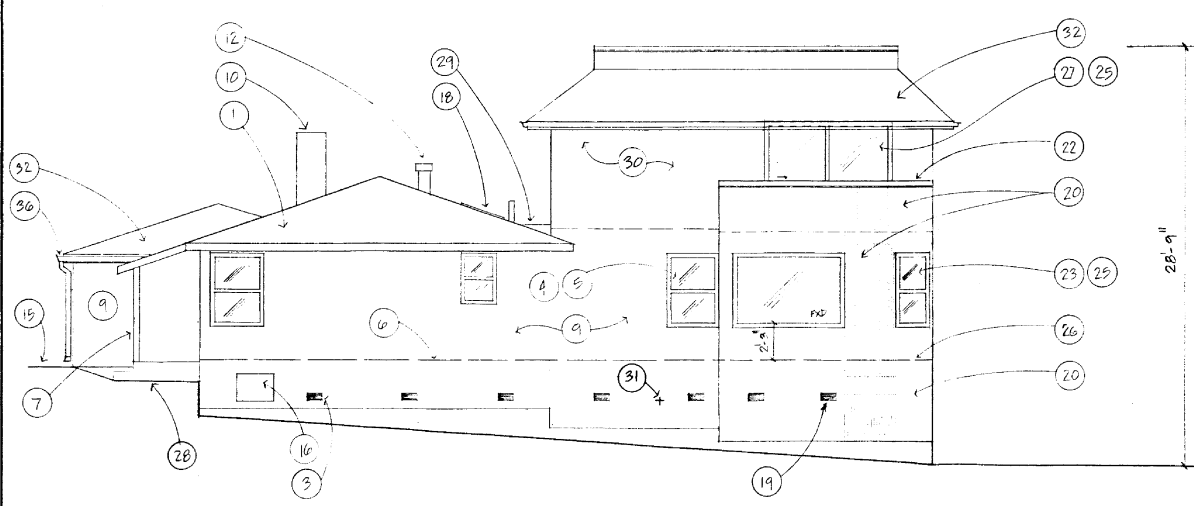
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Drawn: M. MAGANA
Job:
Sheet: A4



NORTH ELEVATION



SOUTH ELEVATION



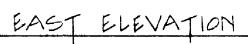
- SHEET NOTES (A5)
- (1) COMPOSITION: SINGLE ROOFING
 - (2) GSM GUTTER AND DOWNSPOUT
 - (3) GSM VENTS
 - (4) ALUMINUM WINDOW
 - (5) 2" WOOD TRIM
 - (6) FLOOR DECK AND WOOD JOISTS
 - (7) WOOD POST
 - INDICATES TOP OF SECOND FLOOR
 - (8) HORIZONTAL WOOD SIDING
 - (9) MASONRY CHIMNEY
 - (10) CONCRETE STEP AND LANDING
 - (11) GSM ROOF VENTS
 - (12) WOOD DOOR
 - (13) 16" ROLL-UP GARAGE DOOR
 - (14) FINISH GRADE
 - (15) ACCESS TO CRAWL SPACE
 - (16) HORIZONTAL WOOD BEVEL SIDING
 - (17) ALUMINUM SKYLIGHT
 - GSM VENTS (18" x 6")
 - 3-LAYER, 1/2" THICK CEMENT PLASTER OVER STUCCO
 - WIRE, OVER 2 LAYERS OF GRADE "D" PAPER-PAINTED
 - 3/4" GUARDRAIL W/ 2x COMPOSITE WOOD CAP
 - TOP OF PARAPET WALL W/ COMPOSITE WOOD CAP
 - VINYL WINDOW TO MATCH EXISTING
 - SLOPE DOWN 1/4" PER FT MINIMUM
 - 2" WOOD TRIM TO MATCH EXISTING
 - (N) FINISH FLOOR TO ALIGN W/ EXISTING FINISH FLOOR
 - VINYL GLASS SLIDER
 - STERILANDING BEYOND CRICKET
 - PERKIL WD BEVEL SIDING
 - IRISE BBL INSTALL NON-REMOVABLE BACKFLOW PREVENTION DEVICE
 - COMPOSITION: SINGLE ROOFING MIN CLASS "A" - MATCH EXISTING COLOR
 - INDICATES OUTLINE OF NEW COMPOSITE STAIR AND LANDING W/ 3/4" RAILING ON BOTH SIDES. STAIR DATA: NTW CONCRETE FIRST TREAD AND BASE. SEE STRUCTURAL DETAIL H52
 - STAIR WIDTH 3'-0"
 - NUMBER OF RISERS 30
 - NUMBER OF TREADS 29
 - RISE HEIGHT 8" MAX
 - TREAD WIDTH 9" MIN
 - MAX DROP @ DOOR LANDING 8" MAX
 - INDICATES OUTLINE OF COMPOSITE DECK
 - GSM GUTTER AND DOWNSPOUT
 - DOOR
 - WALL VENT
 - SLAB-ON GRADE

REVISIONS		BY

ARCHITECTURAL FORMS
1806 WEIR DRIVE
Hayward CA 94541
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MAGANA ADDITION
24025 2ND STREET
HAYWARD, CA 94544

Date: 1-30-03
Scale: 1/8" = 1'-0"
Drawn: M. M. M.
Job:
Sheet: A5



Δ 6